

form

works



studios

site specific architecture

Sunset Peaks, 2-ac parcel

14. Project Narrative

May 15, 2006

The Owner, Sunset Peaks, LLC, is applying for a zoning change for 14601 N. Scottsdale Road (parcel 215-56-018) from an existing I-1 Industrial zoning to C-3 Commercial zoning with an accompanying height and volume modification.

The existing property contains one of the oldest and underutilized buildings in the Airpark. It is a 1973 warehouse building with adjoining front-offices. The building is one-story; approximately 15 feet in height; 22,541 s.f.; with 59 parking spaces. Screen walls surround three of four sides of the property with an oleander hedge on the 4th. Three and four-story office buildings surround the site to the north and northwest with other warehouse / office buildings on the east / southeast. Existing vegetation on-site is sparse and consists of Mexican Fan Palms and large areas of turf. Access to the property is via Acoma (on the south) and 73rd Street (on the east). Across Scottsdale road, in Phoenix, are new, fully occupied offices and retail buildings. Nearby retail properties include The Shane Company, located directly to the east, Steinway Piano to the south east, and Wells Fargo Financial Center to the south. Just north of the site is Kierland Commons, and the proposed Camberlango located at Greenway and Butherus Roads.

This request reflects the continued re-vitalization of the properties west of the Airpark along Scottsdale Road. We wish to take advantage of our Scottsdale Road frontage and unique location in the City with a new mixed-use development. Plans are for retail space on the first floor extending the retail experience from the west side of Scottsdale road and north from Kierland and Camberlango. The second and third floors will provide office space furthering the development of the employment core designated by the general plan in the airpark region; residential uses are not planned.

We wish to build a top-quality development that enhances each of our neighbors, the overall Airpark, and continues to extend the development seen to the north near Frank Lloyd Wright Boulevard. The landscape design will exceed the required square footages for a C-3 zoning and will be low-water use, largely indigenous plants that provide shade and respect the desert climate. No access directly onto Scottsdale road is planned in order to provide ample front yard open space that exceeds the current requirements. Underground parking will be provided to further expand the open space to south and east of the site. The Architecture will be of an international quality that will attract businesses and patrons alike, and will exceed the architectural and aesthetic standards heretofore seen in this area. With appropriate study and discussion to come, we are considering building heights similar to those existing in the neighborhood, i.e. adjacent three-story office buildings and nearby Kierland Commons and the Camberlango development. This will result in a more compact building envelope and greater open space.

The building consists of approximately 72,255 s.f. with the first floor totaling 23,807 s.f. of dedicated retail space. The east and north sides, at ground level, comprise the retail experience and are tied

together and defined by a continuous and generous shade canopy. The proposed height and volume modification will add important benefits to Scottsdale's competitiveness in this employment core. Benefits include added height to each of the three rentable floors, visibility from neighboring retail and commercial districts, as well as providing more open space on the site. This increase in height will also draw more tenants as we take advantage of views back across the airpark and to the activity on and around the runway. The ample open space provided at Scottsdale Road and the storefront walk along the east side of the building will ensure a memorable and pleasurable experience for the patrons, and vehicular traffic passing the site.

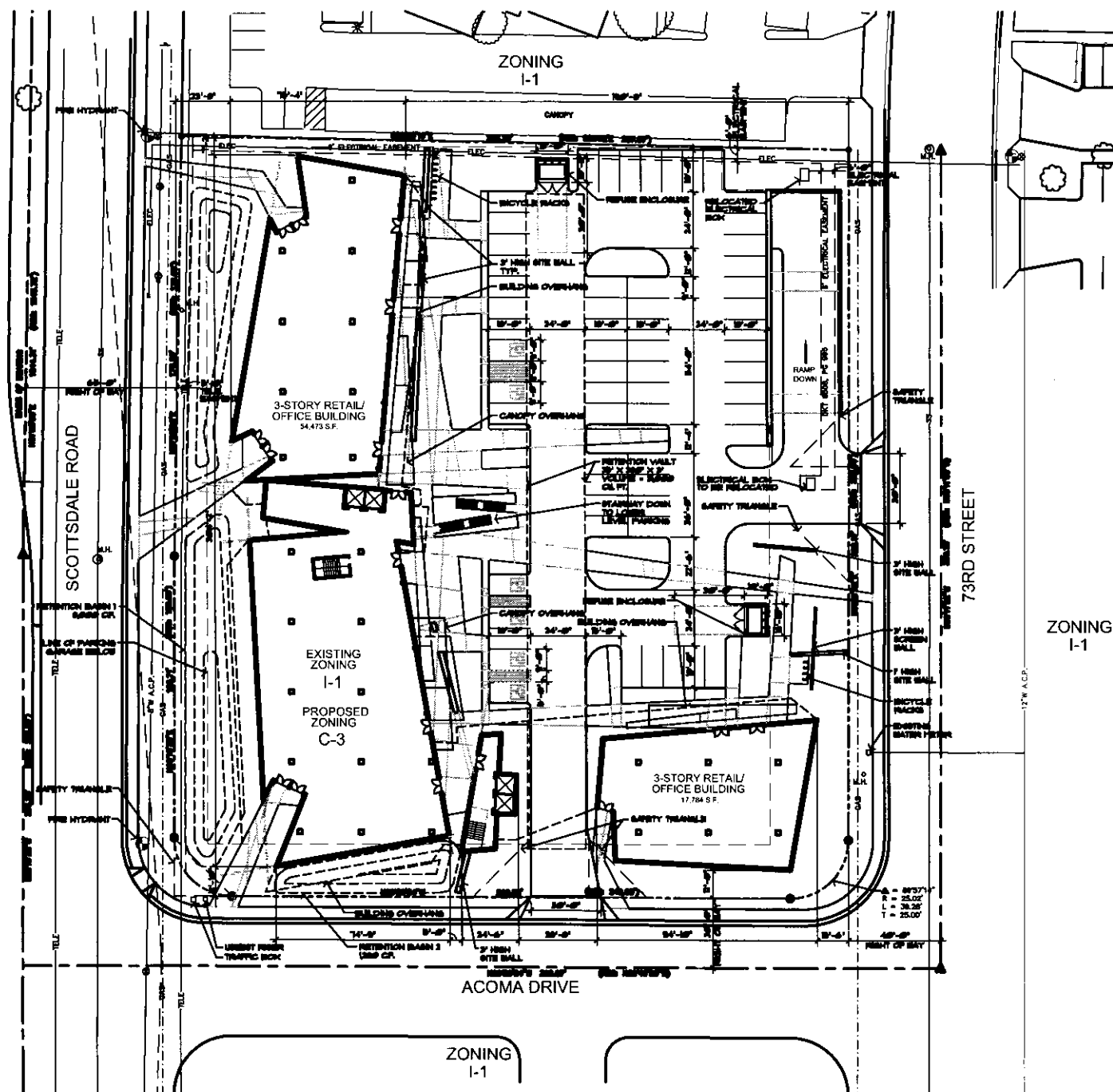
With a change in the zoning and General Plan for this area of the City, private owners, patrons and the City as a whole have an opportunity to continue the revitalization of the Scottsdale Road corridor. Regaining the lead in planning and development at the Airpark will reflect the changes in the market place and relate to the surrounding context.



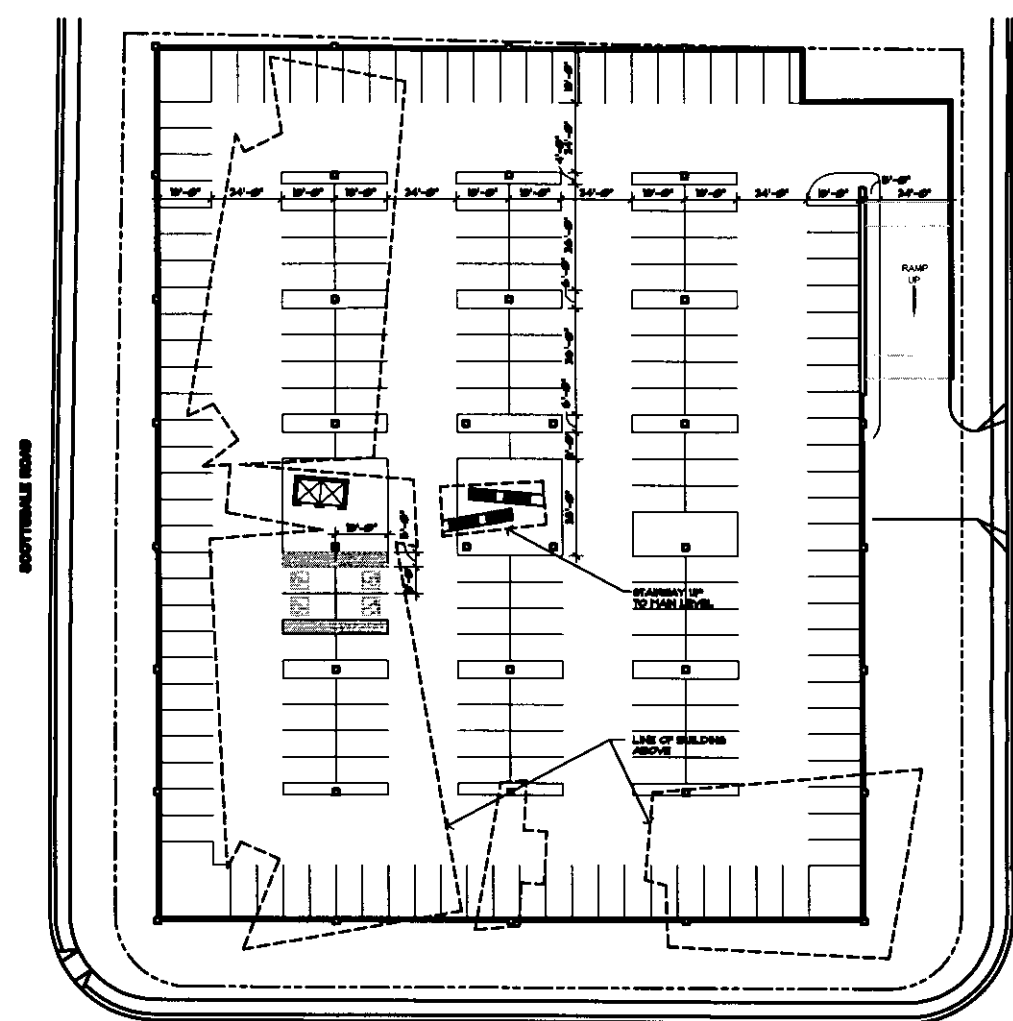
8-ZN-2006
6/30/2006

ZONING
PCD

ZONING
C-2



ZONING
I-1

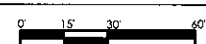


lower level parking plan

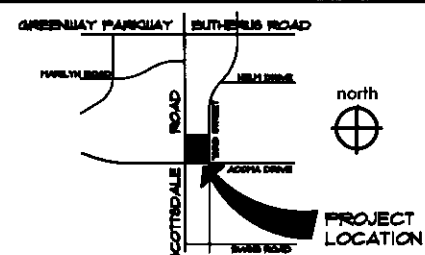
SCALE: 1" = 30'-0"

ACOMA DRIVE

north



VICINITY MAP



north

PROJECT LOCATION

PROJECT DIRECTORY

ARCHITECT:
FORMWERKS STUDIOS
18719 N. 40TH STREET
SUITE 340
PHOENIX, ARIZONA 85018
P. 602.266.8188
F. 602.266.8189
CONTACT:
JASON WALSH
jwalsh@formwerksstudios.com

OWNER:
A.I.S.
14501 N. SCOTTSDALE ROAD
SUITE 201
SCOTTSDALE, AZ 85254
P. 480.464.1891
F. 480.464.8182
CONTACT:
ROBERT JACKSON
robj@aisphoenix.com

CIVIL ENGINEER:
FLEET FISHER ENGINEERING INC.
4250 E. CAPELBACK ROAD
SUITE 410C
PHOENIX, ARIZONA 85016
P. 602.266.4333
F. 602.266.4334
CONTACT:
SHAWN SUBALA
shawn@ffeng.com

REZONING CASE

80-PA-2888
80-PA-2888

LOT AREA

GROSS LOT AREA:

19,812 SF/0.45 ACRES

NET LOT AREA:

19,348 SF/0.44 ACRES

ZONING

EXISTING ZONING:

I-1

PROPOSED ZONING:

C-3

FLOOR AREA

PAR - NET LOT X .80

15,478 X .80 = 12,382 SF.

MAXIMUM SQUARE FOOTAGE ALLOWED:

14,676 SF.

BUILDING 1

FIRST FLOOR/RETAIL

15,076 SF.

SECOND FLOOR/OFFICE

11,184 SF.

THIRD FLOOR/OFFICE

10,232 SF.

GROSS FLOOR AREA:

36,492 SF.

BUILDING 2

FIRST FLOOR/RETAIL

8,728 SF.

SECOND FLOOR/OFFICE

9,488 SF.

THIRD FLOOR/OFFICE

1,691 SF.

GROSS FLOOR AREA:

19,907 SF.

TOTAL GROSS FLOOR AREA:

56,399 SF.

VOLUME

VOLUME = NET LOT X .80

15,478 X .80 = 12,382 CUBIC FEET

MAXIMUM VOLUME ALLOWED:

896.31 CUBIC FEET

BUILDING 3

FIRST FLOOR/RETAIL

22,861 SF.

SECOND FLOOR/RETAIL

22,861 SF.

THIRD FLOOR/RETAIL

39,648 SF.

GROSS FLOOR AREA:

85,370 SF.

TOTAL PROPOSED VOLUME:

126,190 CUBIC FEET

PROJECT DATA

PARKING

RETAIL = 23,861 SF. @ 1:250

OFFICE = 49,448 SF. @ 1:300

TOTAL PARKING REQUIRED:

286 SPACES

INCLUDING REQUIRED H.C. PARKING:

10 SPACES

AT GRADE LEVEL:

60 SPACES

UNDERGROUND:

200 SPACES

TOTAL PARKING PROVIDED:

260 SPACES

INCLUDING:

H.C. PARKING AT GRADE LEVEL:

4 SPACES

H.C. VAN PARKING AT GRADE LEVEL:

2 SPACES

H.C. PARKING UNDERGROUND:

4 SPACES

TOTAL H.C. PARKING PROVIDED:

10 SPACES

OPEN SPACE

REQUIRED OPEN SPACE FOR C-3 ZONING (MAXIMUM BUILDING HEIGHT OF 35'-0")

OPEN SPACE = NET LOT X .10 FOR 6'-0" HIGH

= NET LOT X .004 FOR 1' AND ABOVE

19,348 X .10 = 1,934.8 SF.

19,348 X .004 = 77.39 SF. X 30 = 2,303.7 SF.

OPEN SPACE REQUIRED = 4,238.5 SF.

REQUIRED OPEN SPACE FOR C-3 ZONING (PROPOSED BUILDING HEIGHT OF 45'-0")

OPEN SPACE = NET LOT X .10 FOR 6'-0" HIGH

= NET LOT X .004 FOR 1' AND ABOVE

19,348 X .10 = 1,934.8 SF.

19,348 X .004 = 77.39 SF. X 30 = 2,303.7 SF.

OPEN SPACE REQUIRED = 4,238.5 SF.

OPEN SPACE PROVIDED (NOT INCLUDING PARKING LOT LANDSCAPING):

3,476 SF.

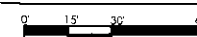
REQUIRED FRONT YARD OPEN SPACE FOR C-3 ZONING (PROPOSED HEIGHT OF 45'-0")

FRONT YARD OPEN SPACE = 1/2 OF REQUIRED OPEN SPACE

2,119.25 SF.

FRONT YARD OPEN SPACE PROVIDED:

1,276 SF.



north

